



Wallaroo  
Rise

Design Guidelines for Stage 1

# Wallaroo Rise Design Guidelines

Shaping a boutique coastal community and protecting your long-term value.



# The vision behind the blueprint

Wallaroo Rise is a carefully considered estate blending contemporary design with a peaceful, community-focused environment. Drawing on the appeal of Wallaroo's laid-back lifestyle, open spaces, and connection to nature, this estate is designed to foster a welcoming neighbourhood.

**“Quality homes, streetscape appeal, and long-term value are prioritised.”**

These guidelines assist owners and residents in creating homes that contribute positively to the estate's character.

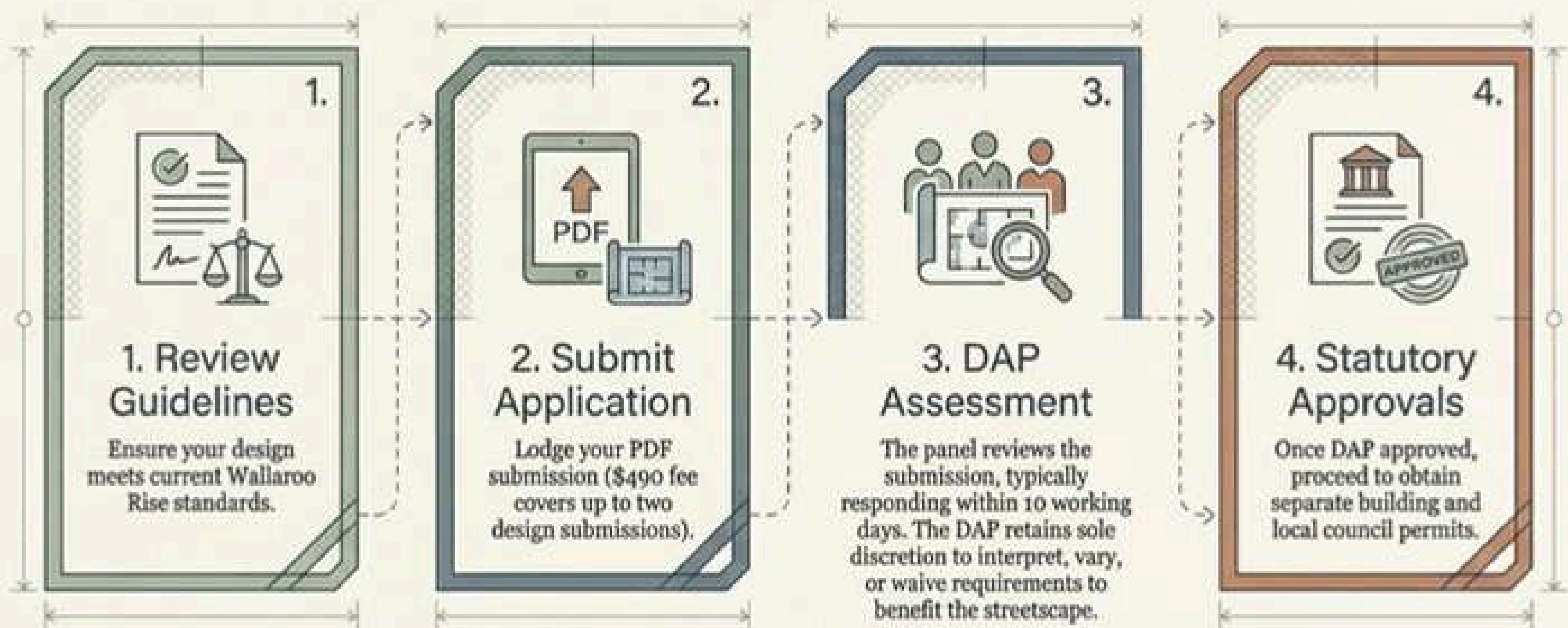
# Building the Wallaroo Rise Vision

These guidelines exist to protect your investment and ensure every home contributes positively to the neighbourhood's character.



# The Design Approval Process

Every home requires approval from the Design Assessment Panel (DAP) prior to lodging a building permit.



# Submission Requirements Checklist

|   |  |
|---|--|
|    | <p><b>Site Plan:</b> Lot boundaries, easements, setbacks, parking, driveways, and ancillary structures.</p>                    |
|   | <p><b>Floor Plans &amp; Elevations:</b> Internal layouts, proposed floor levels, all openings, decks, and pergolas.</p>        |
|  | <p><b>Materials &amp; Colours:</b> Visual samples of all external finishes and calculated percentages of facade materials.</p> |
|  | <p><b>Landscape Plan:</b> Hardscape, softscape, and a detailed planting schedule.</p>  |



**Speed Up Your Approval**

Do NOT include electrical plans, slab layouts, joinery details, or internal colour schemes. Extraneous information slows the assessment and may result in rejection.

# Curating Streetscape Variety

Overly similar facades are not permitted within three lots of each other, on either side of the street.

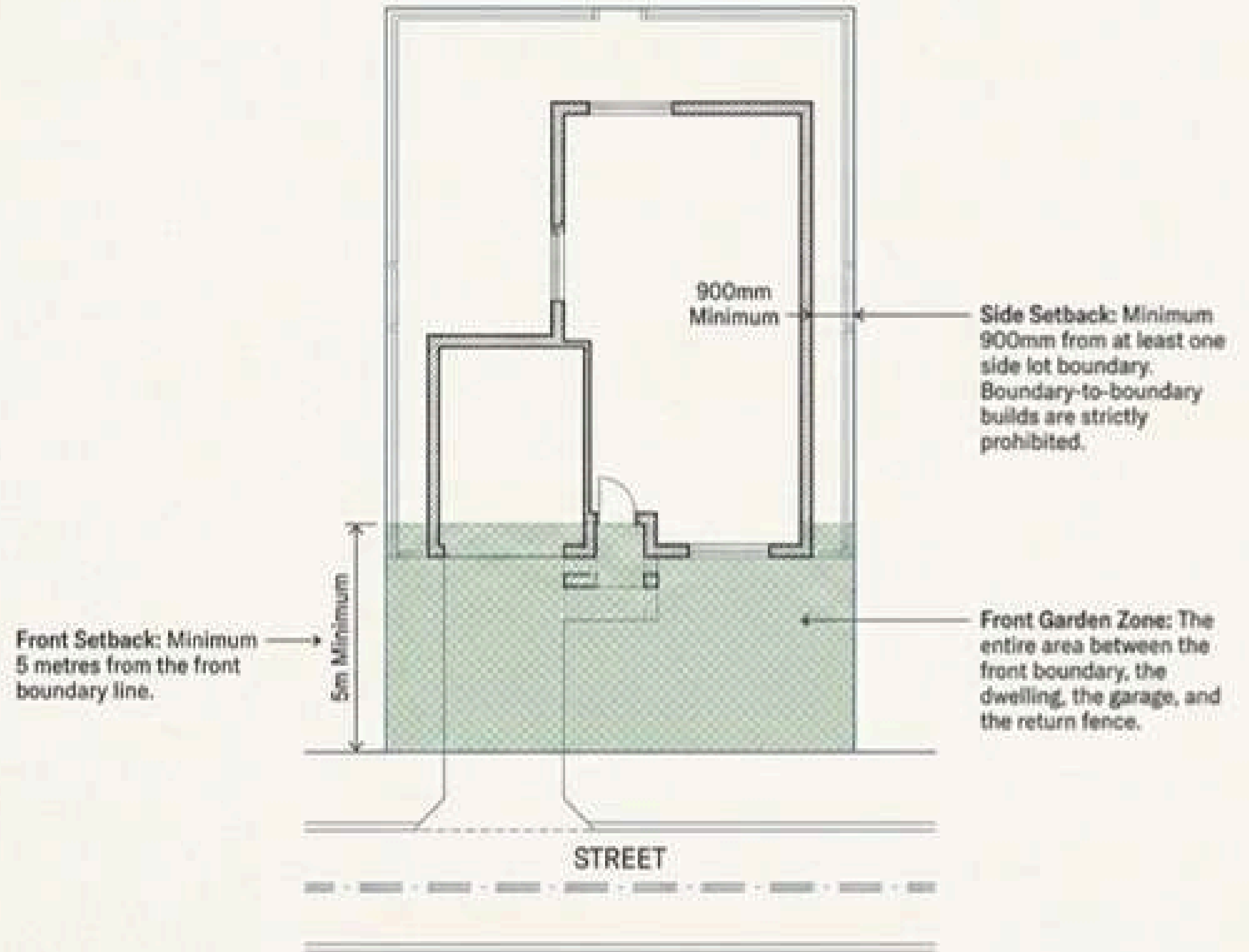


Minimum 3-lot buffer.

Earlier applications take precedence in similarity assessments.

# Siting, Setbacks, and the Building Envelope

Positioning your home correctly establishes a consistent, spacious streetscape.



# Architectural Character and Streetscape

Façades must provide depth, character, and passive surveillance to the public realm.

⊗ UNAPPROVED



Flat facades and large blank walls are not permitted. Overly similar facades are not permitted within 3 lots of each other (including opposite sides of the street).

⊙ APPROVED



Entry Feature:  
Strong sense of entry (portico, porch) readily visible from the primary frontage.

Articulation:  
Balconies, feature cladding, or varying elements to create depth.

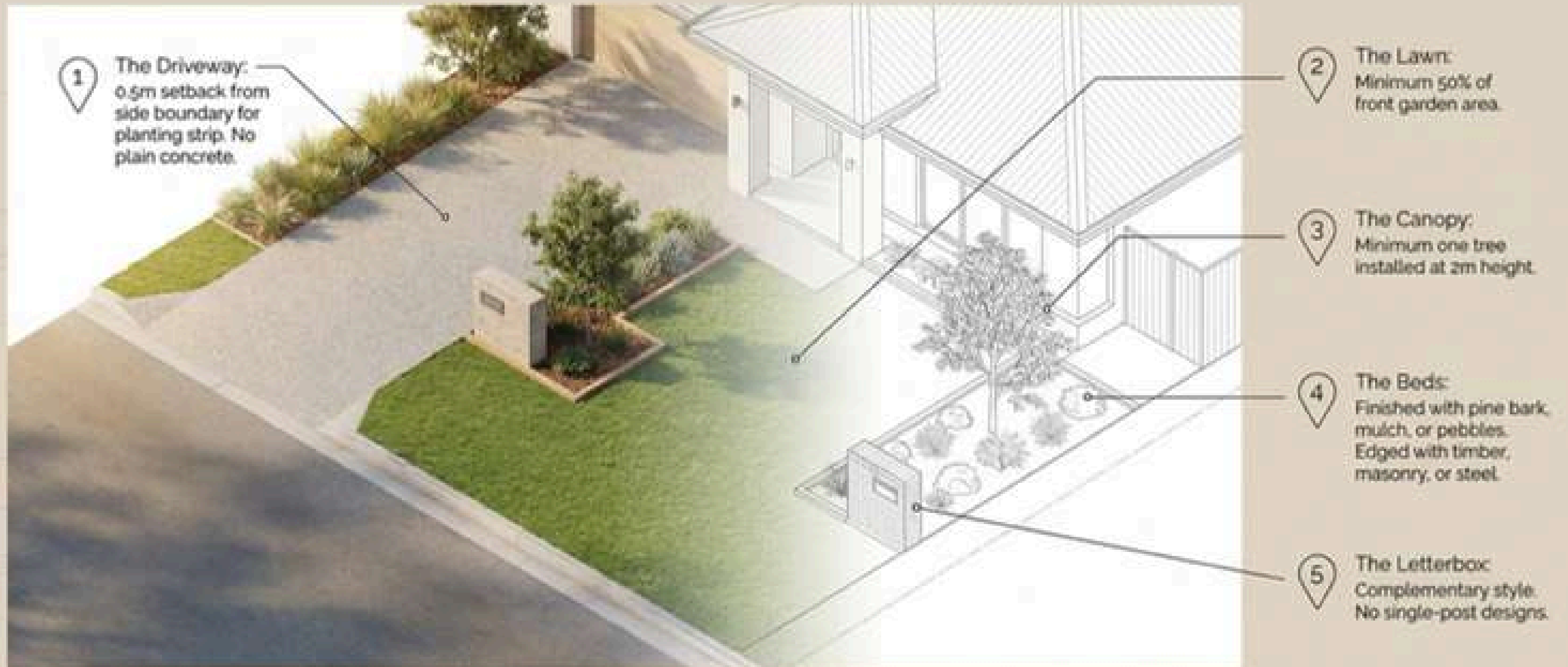
Passive Surveillance:  
At least one habitable room (living or bedroom) window on each story addressing the public realm, with appropriate head/sill heights.

# Designing for Corner Lots

Homes with a secondary frontage must carry their primary design quality around the corner.

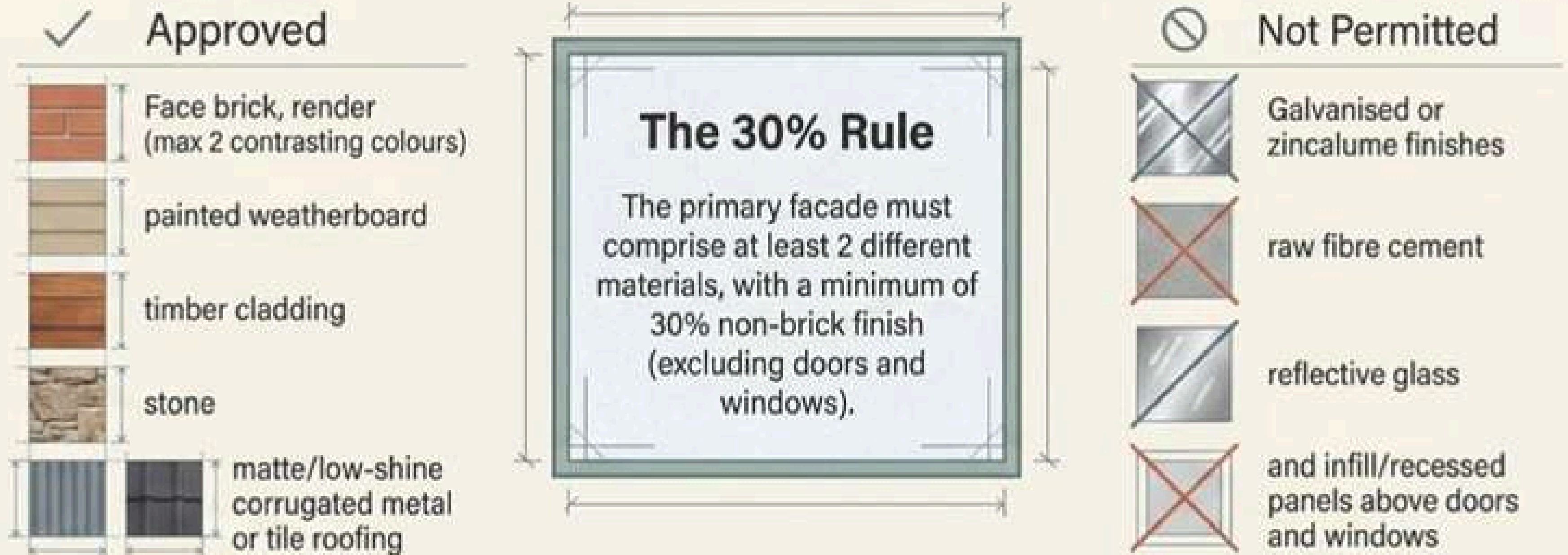


# The Approach: Landscaping & Driveways



# The Material and Finish Palette

External schemes must utilize predominantly muted, neutral tones. Bright colours are reserved only for small complementary accents. Portable housing is not permitted.



# Integrating the Garage

## Front-Loaded Integration



- Set back at least 500mm from front building line
- Maximum 6m door opening width
- Maximum 7m internal width

Roller doors strictly prohibited if visible from street.

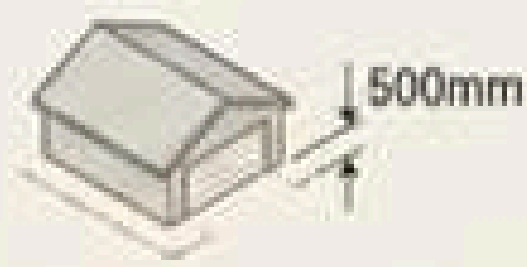
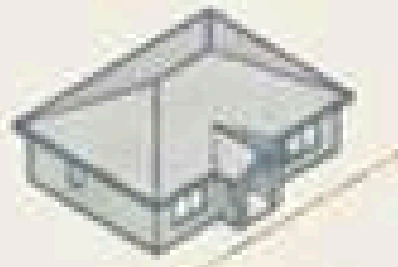
## Forward or Detached Options



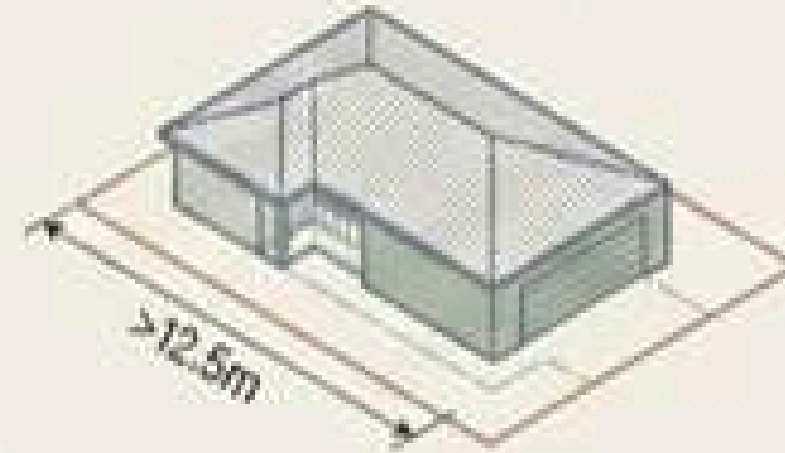
- Must include design features (windows, eaves) facing street. Blank walls not approved.

# Garage Integration

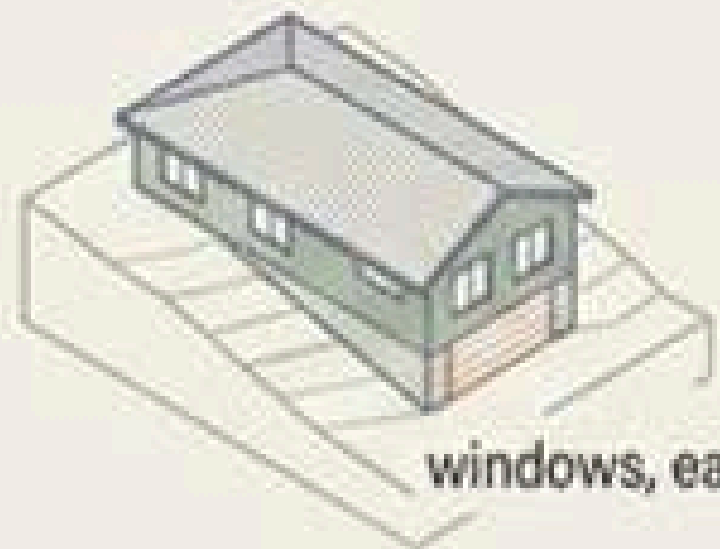
Every lot requires two car spaces and a fully enclosed garage (carports are prohibited).



**Front-Loaded Standard:** Must be setback at least 500mm from the front building line. Door width max 6m; double garage internal width max 7m. No roller doors visible from the street.

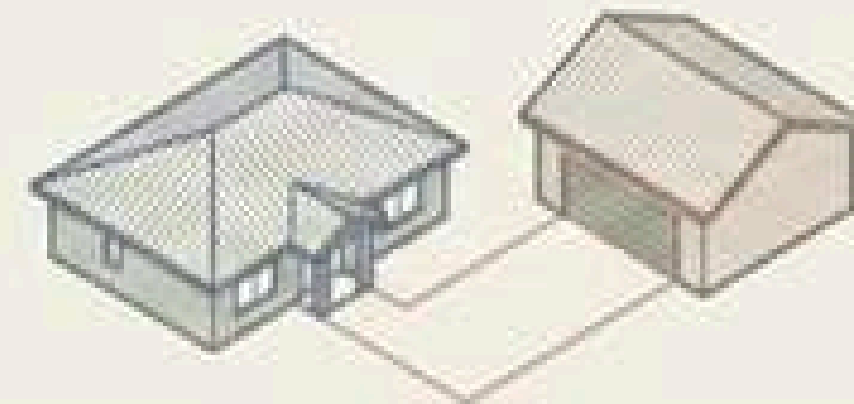


**Lot Frontage > 12.5m:**  
A double garage is mandatory.



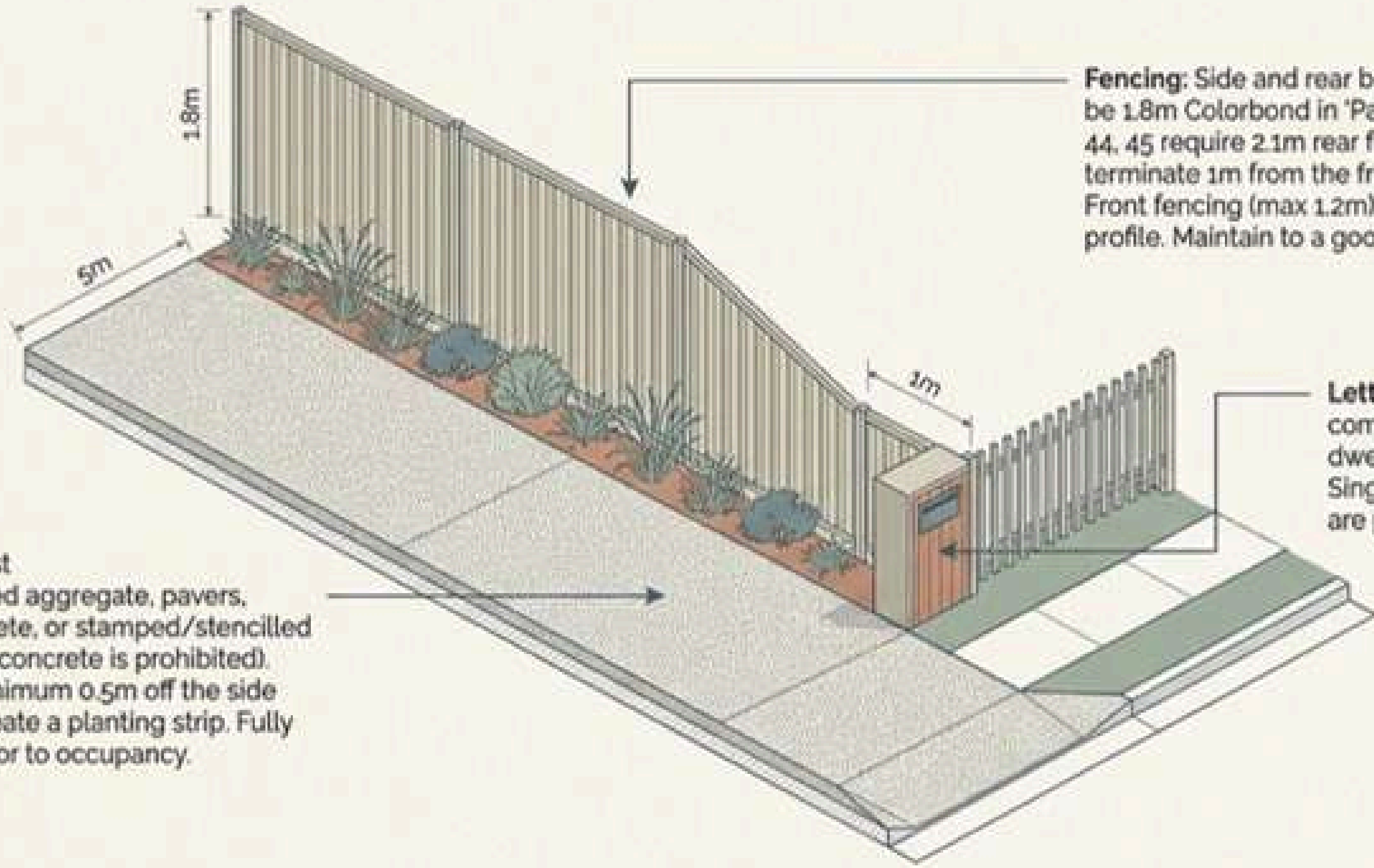
**Forward / Slope-Responsive:**  
Permitted only if necessitated by site slope.

Street-facing walls must include windows, eaves, or doors (no blank walls).



**Detached:** Permitted at DAP discretion. Must match main dwelling materials and colours.

# Driveways, Fencing, and Boundaries



**Driveways:** Must be exposed aggregate, pavers, coloured concrete, or stamped/stencilled concrete (plain concrete is prohibited). Must be set minimum 0.5m off the side boundary to create a planting strip. Fully constructed prior to occupancy.

**Fencing:** Side and rear boundary fences must be 1.8m Colorbond in 'Paperbark' (Lots 43, 44, 45 require 2.1m rear fences). Returns terminate 1m from the front building line. Front fencing (max 1.2m) must be open profile. Maintain to a good standard.

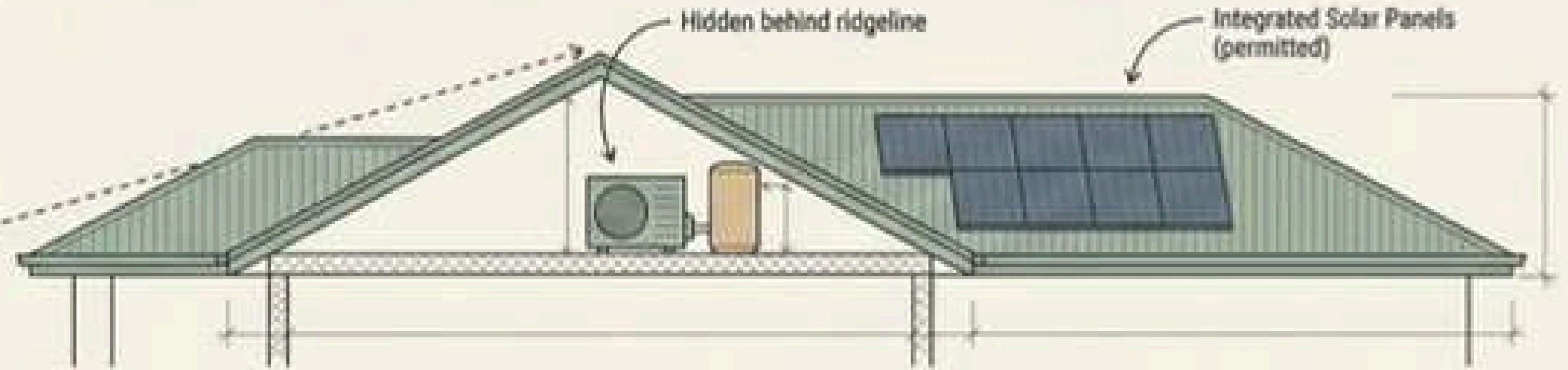
**Letterboxes:** Must complement the dwelling's materials. Single-post letterboxes are prohibited.

# Hiding the Necessities

Ancillary structures and services must be screened or located to minimize visibility from the public realm.

## Roof Elements

Heating/cooling units must be below the ridgeline and colour-matched to the roof. Solar panels are permitted for efficiency but must integrate with roof form. Solar storage tanks are not permitted on the roof.

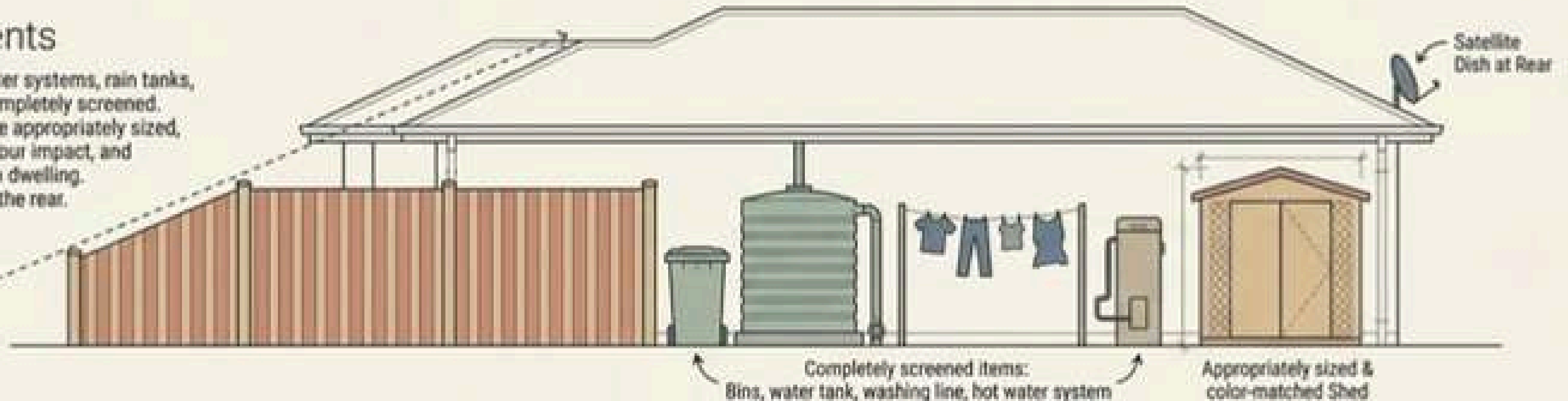


PUBLIC REALM VIEW

line-of-sight

## Ground Elements

Bins, washing lines, hot water systems, rain tanks, and spa pumps must be completely screened. Sheds/outbuildings must be appropriately sized, located to minimize neighbour impact, and colour-matched to the main dwelling. Satellite dishes must be at the rear.



PUBLIC REALM VIEW

Completely screened items:  
Bins, water tank, washing line, hot water system

Appropriately sized &  
color-matched Shed

# Preserving the Public Aesthetic



Window furnishings must be fitted within 3 months (no sheets or blankets).

# Crafting depth, character, and connection

## Entry Feature

The front facade must incorporate a distinct entry feature at the front door that addresses the primary frontage.

1

2

3

## Habitable Windows

At least one habitable room window on each storey must address each public realm frontage, providing passive surveillance.

## Articulation

Large blank walls or flat facades are not permitted. Designs must incorporate porticos, porches, balconies, or feature cladding to create depth.

# The Wallaroo Rise Streetscape

5m Setbacks create a spacious, breathable street.

Articulated facades and entry features provide individual character.

Muted palettes and matte roofs reflect the coastal environment.

Hidden service equipment and quality fencing ensure a pristine public realm.



5m Setbacks create a spacious, breathable street

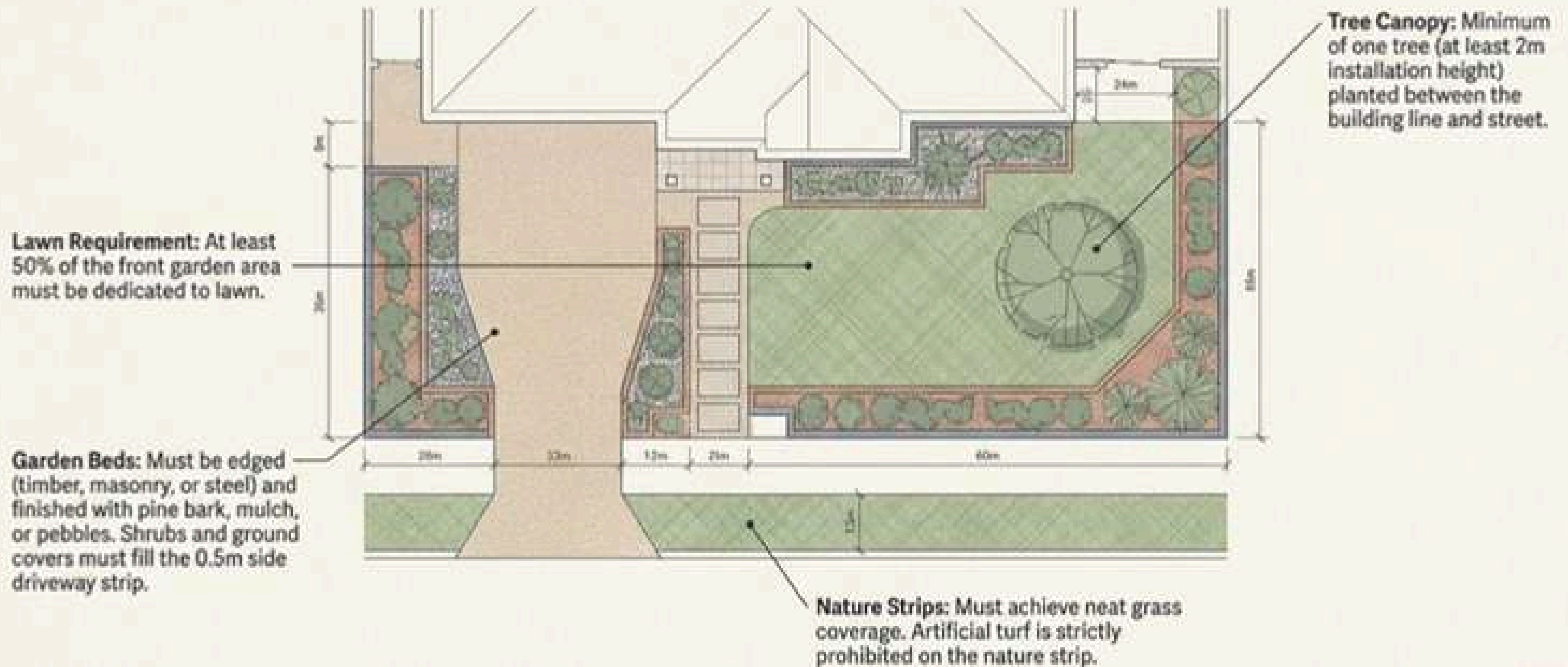
Minimum 50% front lawns and 2m trees build a green corridor

Articulated facades and entry features provide individual character

Hidden service equipment and quality fencing ensure a pristine public realm

# The Front Garden Landscaping Standard

Landscaping is a mandatory part of the DAP approval process to ensure a vibrant, green streetscape.



# Construction Etiquette and Asset Protection



## Pre-Build

Obtain Council asset protection permits. Document and photograph any existing damage to public infrastructure prior to commencement.



## Active Construction

Maintain a neat, tidy lot. Provide lidded skips for rubbish. Never store materials on the nature strip. Protect street trees (monitored by Developer and Council).



## Post-Build

Owners are liable for rectifying any damage to nature strips or public infrastructure (tree replacement costs will be deducted from landscaping rebates).  
Install proper internal window furnishings within 3 months of occupancy (sheets/blankets prohibited).

# Protecting the public realm during construction



## Asset Protection

Owners must secure council permits and document prior infrastructure damage with photographic evidence before construction. Any damage caused during the build must be rectified at the owner's cost.




## Tree Protection

Street trees and nature strips are monitored by the developer and Copper Coast Council. Damage results in tree replacement (plus 2 years maintenance) deducted directly from the landscaping rebate.



## Site Maintenance

Lots must remain neat. Lidded skips are required for all building rubbish. Building materials cannot be stored on the nature strip.



# A commitment to enduring value

The Wallaroo Rise Design Guidelines are more than a compliance framework; they are the assurance that your investment, your neighbourhood and your coastal lifestyle are protected for generations to come.

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For all submission inquiries and lodgements,  
contact the Design Assessment Panel at  
[info@81dm.com.au](mailto:info@81dm.com.au)

# Overview

Wallaroo Rise, offers a boutique lifestyle community inspired by the charm and relaxed coastal living of Wallaroo. This carefully considered estate blends contemporary design with a peaceful, community-focused environment, creating an ideal place to call home.

Drawing on the appeal of Wallaroo's laid-back lifestyle, open spaces and connection to nature, Wallaroo Rise provides residents with a sense of escape while remaining conveniently connected to local amenities. The estate has been thoughtfully designed to foster a welcoming neighbourhood where quality homes, streetscape appeal and long-term value are prioritised.

These design guidelines have been established to assist owners and residents in creating homes that contribute positively to the overall character of the estate, while embracing the lifestyle and environment that make living in Wallaroo so desirable.

## Developers Approval Process

All homes built in Wallaroo Rise must be approved by the appointed Design Assessment Panel prior to the lodgement of any building permit or commencing any construction within the estate.

The design guidelines may be changed from time to time at the DAP's discretion.

Applications for the Developers approval will be assessed against the current version of the design guidelines.

Interpretation and application of these design guidelines is at the sole discretion of the DAP. The DAP's decisions are final. No claims shall be made to the Developer, the DAP or their representatives with respect to the decisions made.

The DAP reserves the right to vary or waive the requirements of the design guidelines if it believes that a proposal (or an element of a proposal) that is not strictly in accordance with the wording of the design guidelines nonetheless makes a positive contribution to the overall objectives of the built form and or streetscape at Wallaroo Rise.

An initial fee of \$490 including gst is applicable to all DAP applications.

The initial fee covers two submissions if needed for each design approval application. Each additional submission may incur an administration fee at the sole discretion of the DAP. New submissions for a lot that already has an application approval will also incur an administration fee.

# Submission Requirements

All submissions for design approval must be in PDF format and include the following information:

Site plan with dimensions showing

- Lot boundaries and any easements on title
- Proposed building footprint and all proposed setbacks
- Onsite car parking and driveways
- Other external structures
- All ancillary items

All floor plans and elevations with dimensions showing

- Internal layout and any pergolas, decks, terraces, balconies, verandahs, windows, doors and other openings
- Proposed floor levels

Finishes and colour samples

- Provide samples or images of all proposed external materials and colour selections
- Provide percentages of individual façade external materials

Landscape plan with dimensions and showing

- Indicative extent of all hardscape and softscape
- Planting schedule that lists all proposed species referenced on landscape plan

Do not send information such as electrical plans, slab layouts, joinery details, internal colour schemes etc. This extra information slows down the assessment process and may result in a submission being rejected.

# Submissions

When you are ready to make your submission for design approval you can lodge it via email to [info@81dm.com.au](mailto:info@81dm.com.au). Generally we will review and respond to you within 10 working days of your submission however this timeframe may vary depending on the nature and completeness of your submission.

# Re-submission

Should a re-submission be required please ensure that any alterations or changes are suitably highlighted on the plans or in any accompanying communication. This will help to speed up the process and assessment.

# Other Approvals

The requirements detailed in this document are in addition to, and not in lieu of, any other legal requirements. Approval by the DAP does not exempt the plans from any building or statutory regulations, nor infer compliance with the building regulations or other applicable statutory legislation. Separate approval must be obtained from the relevant authorities. It is the responsibility of the owner to ensure any other approvals, authorisation permits or other requirements are obtained and satisfied.

# Definitions

For the purposes of these guidelines:

- Public Realm is any land that is within the ownership of a public body, including Council land or servicing authorities
- Primary Frontage is the boundary that abuts the primary vehicle thoroughfare (road) and is considered the front of the property.
- Building Envelope Plan means the plan that specifies the area on a site where a building can be sited in conjunction with the relevant Building Regulations.
- Corner Lot is any lot that has more than one boundary that abuts the public realm or road.
- Habitable room is a living room or bedroom
- The front building line is the external face of the front most habitable room wall. Entry features, porches, porticos etc. do not form part of the front building line
- Front garden refers to the whole area between the front boundary of a lot and the dwelling, garage and return fence.

# Setbacks

All setbacks must comply with the building envelope requirements of the lot.

All houses must be setback a minimum of 5 metres from the front boundary line

Boundary to boundary builds will not be approved.

There must be a minimum of 900mm from one of the the side lot boundary to the purposed dwelling.

## **Streetscape Variety**

Overly similar facades are not permitted within 3 lots of each other. This includes lots on same side and the opposite side of a street.

If any two facades are deemed to be too similar to each other, the earlier application will take precedence.

The determination of any façade variations required for approval will be at the sole discretion of the DAP.

## **Architectural Character**

A variety of architectural designs are encouraged.

The front façade of the dwelling must incorporate an entry feature at the front door that addresses the primary frontage, creates a strong sense of entry and is readily visible from the primary frontage.

Each dwelling must have at least one habitable room window on each story that addresses each public realm frontage. The habitable room window must have appropriate head and sill heights to provide passive surveillance to the public realm.

Large blank walls or unarticulated areas on the façade are not permitted. The façade should incorporate varying elements such as porticos, porches, balconies, feature cladding etc to help give the building front depth and character. Flat facades are not permitted.

# Building Materials

The External colour schemes for the dwelling, outbuilding, driveway and landscaping surfaces should adopt a colour palette of predominantly muted, neutral tones and materials. Bright and vibrant colours will only be approved if used in small areas to complement the main colours and finishes.

The Façade must be constructed using a mixture of external building materials and colours and comprise of at least 2 different materials. The façade must include a minimum of 30% of material other than brick on the façade. Two contrasting render colours are permitted.

This calculation does not include any openings (i.e. doors, including garage door, windows, etc.)

Allowable finishes include:

- Face brick
- Render
- Painted weatherboard
- Timber cladding
- Stone
- Any other developer approved materials.



# Building Materials - Cont

The roof material must complement the style of the dwelling. Roof sheeting must be matt or low shine finished corrugated metal roofing or roof tiles.

Roof materials and rainwater fixtures including gutters, flashing, fascia's and cladding must be colour coordinated with the roof, matte finished and non-reflective.

The following finishes/materials are not permitted:

- Galvanised or zincalume
- Raw fibre cement
- Reflective glass

A contemporary feature door that complements the house façade is encouraged.

Any façade that faces the public realm must not include infill or recessed panels above doors, windows or garage doors. The finish above the opening must match the finish on either side of the opening unless the DAP considers the panels to be part of an allowable design element.

Portable housing will not be permitted, the primary building must be constructed of solid or brick veneer or light weight construction assembled on a slab foundation.

# Corner Lots.

Dwellings on corner lots must address the secondary frontage by incorporating the same or similar design features to those used on the primary frontage. Acceptable features may include:

- Windows with matching head heights
- Highlight materials and finishes that wrap around from the primary façade
- A return balcony or pergola
- A repetition of the front porch or portico
- Other treatments to the satisfaction of the DAP such as stepped walls, pergolas, roof features etc.

Materials used on the interface of the primary and secondary façade must extend to the secondary frontage for a minimum of 3m.

Corner features must be forward of the return fence and readily visible from the public realm Please note that blank walls forward of the return fence are not permitted.

Fencing to the secondary frontage must be constructed of 1.8m Colourbond Paperbark and terminate a minimum of 3m from the front building line.

The secondary boundary side fence, forward of the building line must be 1.2m in height and be constructed with an open profile and materials such as timber pickets or wrought iron or tubular fencing painted in colours to match the main house or alternatively framed with rendered masonry but still comprising mainly of wrought iron, pickets or tubular pool fencing.

# Garages

All lots must include a fully enclosed garage. Open-sided garages and carports are not permitted.

Each lot must accommodate two car spaces, which may be achieved via:

- A double garage, or
- A single garage with a driveway long enough to provide a visitor parking space

## Front-Loaded Garages:

Garages accessed from the primary frontage must be integrated into the overall form of the dwelling.

These garages must be set back at least 500mm from the front building line, unless part of a slope-responsive design.

Garage door openings must not exceed 6 metres in width.

Roller doors are not permitted where visible from the public realm.

Double garages must not exceed 7 metres in internal width. Additional space for storage or a workshop may be considered, provided the street-facing wall includes visual articulation (e.g., windows or stepped walls).

Lots with a frontage greater than 12.5 metres must include a double garage.

## Garages Forward of the Building Line:

Garages positioned forward of the dwelling or perpendicular to the street may be considered if they are necessary due to site slope.

Garage walls facing the street must include design features such as:

- Garage doors
- Windows
- Eaves

Blank walls will not be approved.

## Detached Garages:

Detached garages (those not accessed from the primary frontage) may be allowed at the DAP's discretion. They must use matching or complementary materials, colours,

## Driveways

Driveways must be constructed from:

- -Exposed aggregate
- -Pavers
- -Coloured concrete
- -Stamped or stencilled concrete or
- -Any other DAP approved finish.



Plain concrete will not be approved.

The proposed driveway material must be stated on the DAP application.

The driveway must be set minimum 0.5m off the side boundary to allow for a planting strip between the driveway and the side boundary of the property.

Driveways must be fully constructed before the dwelling is occupied.

# Letterboxes

The letter box should complement the dwelling and front landscape in terms of materials, colour and style. Single post letter boxes are not permitted.

# Fencing

Side and rear boundary fencing must be 1.8 metres high and constructed of Colourbond fencing in the colour Paperbark. Lots 43, 44 and 45 must have a rear boundary fence of 2.1metres high and constructed of Colourbond fencing in the colour Paperbark.

Side fence returns need to terminate 1m from the front building line. And any gates are to be constructed of Colourbond Paperbark as well.

Wing fences will be considered if tapered to 1.2m high at the lowest front point.

Fencing to the front boundary must be constructed with an open profile and materials such as timber pickets or wrought iron or tubular fencing painted in colours to match the main house or alternatively framed with rendered masonry but still comprising mainly of wrought iron, pickets or tubular pool fencing with a height of 1200mm.

It is the Owners responsibility to maintain all fences to a good standard.

All fencing must be submitted to the DAP for approval before installation

# Retaining Walls

Retaining wall materials must be included in any application for design approval.

Approved materials include concrete, rendered masonry and feature stone.

# Front Garden

The landscape works to the front garden and nature strip are part of the design approval process. A landscape plan must be approved as part of the developer approval process and must incorporate the following:

- -At least 50% of the front garden area must be lawn.
- -At least one tree with a minimum installation height of 2m must be planted between the front building line and street boundary.
- -All garden beds should be finished with pine bark, mulch or pebbles

-Shrubs and ground covers must be planted between the driveway and side boundary

Garden beds must be edged using timber, masonry or steel edging.

The nature strips outside the lot are included as part of the works required for successful completion of the landscaping. Nature strips must achieve neat and even grass coverage and any damage caused during construction of the dwelling must be rectified by the owner or builder.

Artificial turf is not permitted in the nature strip.

# Service Equipment

Satellite dishes, antennae or external receivers must be:

- Located to the rear of the dwelling; and
- Not be readily visible from the public realm

Heating and cooling units must be:

- -Located towards the rear of the dwelling;
- -Not be readily visible from the street and if located on the roof;
- -heating and cooling units must be positioned below the ridgeline;
- -coloured to match the roof as far as practical.

Solar panels and the like may be located to maximise their efficiency as long as they integrate with the roof form.

Storage tanks associated with solar systems are not permitted to be located on the roof and must be screened from public view.

# Sheds and Outbuildings

Sheds and outbuildings must be located in areas that minimise visibility and potential impact on neighbouring properties.

Sheds and outbuildings must be constructed and incorporate the colour scheme of the main dwelling on the property.

Roofing of the shed or outbuilding must be similar colour to the main dwellings roof.

Excessively large sheds and outbuildings will not be approved.

## Screening

Ancillary structures and elements must be located or screened so that they are not readily visible from the public realm. This includes items such as

- -rubbish bin storage areas
- -washing lines
- -clothes drying areas
- -hot water systems
- -any water storage tanks
- -spa pumps
- -external plumbing other than that for rain water
- -sheds and outbuildings

## **Window Furnishings**

Internal window furnishings which can be viewed by the public should be fitted within three months of occupancy of your home. Sheets, blankets, or similar materials for which window furnishing is not their primary use are not permitted.

## **Crossover and Footpath Protection**

It is the responsibility of the landowner to ensure that any required asset protection permits are obtained from the relevant Council prior to the commencement of building works.

The lot owner must ensure that photographic evidence of any prior damaged public infrastructure within the vicinity of the lot is documented before construction commences.

Any damage arising from the dwelling construction activity must be rectified at the cost of the lot owner.

It is advisable for landowners to ensure that their builder is aware and made liable for any damage to the above items within the terms of their individual contracts.

## **Street Tree Protection**

It is the responsibility of the landowner to ensure that any street trees and or nature strips are protected during all building works

Street trees will be regularly monitored by both the developer and Copper Coast Council to ensure that trees have not been damaged as a result of the building process. Tree replacement will be at the land owners expense and the costs of replacement and two years maintenance will be deducted from the landscaping rebate if required.

# Maintenance

During construction it is a requirement that the lot is maintained in a neat and tidy manner. Lidded skips must be provided to store any building rubbish to keep the Estate free from rubbish and debris.

Building materials must not be kept on the nature strip.

Excessive growth of grass and weeds on properties is not acceptable.